

Park Place at the Avenues

TAXES VERIFIED R.T.F.

A PORTION OF THE WILLIAM HARTLEY GRANT, SECTION 58, AND A PORTION OF THE A. GAY GRANT, SECTION 52, ALL IN TOWNSHIP 4 SOUTH, RANGE 21 EAST, OF THE CITY OF JACKSONVILLE, DUVAL COUNTY, FLORIDA.

CAPTION

A part of the William Hartley Grant, Section 58, and a part of the A. Gay Grant, Section 52, all in Township 4 South, Range 21 East, Duval County, Florida and being more particularly described as follows: For a point of reference, COMMENCE at the intersection of the centerline of I-95 with the original centerline of Phillips Highway and/or U.S. Highway No. 1 (a 150 foot right of way as now established); thence North 41°01'14" West, along said centerline of Phillips Highway, a distance of 3068.52 feet; thence South 14°53'26" West, a distance of 75.47 feet to the Southwesterly right of way line of said Phillips Highway and the POINT OF BEGINNING; thence South 41°01'14" East, along said right of way line, a distance of 650.00 feet; thence South 14°53'26" West, a distance of 469.60 feet to the Northeasterly right of way line of Florida East Coast Railroad right of way; thence North 41°01'14" West along said right of way line, a distance of 650.00 feet; thence North 14°53'26" East, along the Westerly line of said William Hartley Grant, a distance of 469.60 feet to the POINT OF BEGINNING.

ADOPTION AND DEDICATION

This is to certify that S.E.A. Partners, Ltd., a Florida Corporation, under the laws of the State of Florida, Richard Lee Suddath, A. Quinn Bell, Robert J. Price, H. Robert Duross, Murphy B. McLean and Barry S. Vaughn are the lawful owners of the lands described in the Caption hereon known as Park Place at the Avenues, and has caused the same to be surveyed and subdivided into lots and tracts, and a National Banking Association, is the holder of mortgage on said lands and this plat being made in accordance with said survey is hereby adopted as a true and correct plat of those lands. Tract "A" (retention pond) will remain in the ownership of the developer, its successors and assigns. All rights of ways, Tract "B" (lift station site), easements for drainage, utilities, sewers and non-access easements shown hereon are hereby irrevocably and without reservation, dedicated to the City of Jacksonville, its successors and assigns. The drainage easements through and over the lakes and filtration systems shown on this plat are hereby irrevocably dedicated to the City of Jacksonville, its successors and assigns and are subject to the following covenants which shall run with the land: (1) The drainage easements hereby dedicated shall permit the City of Jacksonville, its successors and assigns, to discharge into said detention basin which these easements traverse, all water which may fall or come upon all right of ways hereby dedicated, together with all soil, nutrients, chemicals and all other substances which may flow or pass from right of ways; from adjacent land or from any other source of public waters into or through said detention basin, without any liability whatsoever on the part of the City of Jacksonville, its successors and assigns for any damage, injuries or losses to persons or property resulting from the acceptance or use of these drainage easements by the City of Jacksonville, its successors and assigns; (2) The detention basin shown on this plat is owned in fee simple title by the developers, its successors and assigns. The City of Jacksonville by acceptance of this plat assumes no responsibility for the removal or treatment of aquatic plants, animals, soil, chemicals or any other substance or thing that may even be or come within said detention basin which these easements traverse, nor any responsibility for maintenance or preservation of the water purity, water level or water depth which responsibilities shall be those of the Tract "A" owner; (3) The City of Jacksonville, its successors and assigns, shall not be liable nor responsible for the creation, operation, failure or destruction of water level control equipment which may be constructed or installed by the developer or any other person within the lands hereby platted, or of the detention basin shown on this plat, but shall have the right to modify the existence of the detention basin and that which retains it to effect adequate drainage including, but not limited to, the right to remove any water level control structures or any part thereof. S.E.A. Partners, Ltd., developers and owners of the lands described and captioned hereon, shall indemnify the City of Jacksonville and save it harmless from suits, actions, damages and liability and expense in connection with loss of life, bodily or personal injury or property damage or any other damage arising from or out of any occurrence in, upon, at or from the detention basin described above, or any part thereof, occasioned wholly or in part by any act of omission of S.E.A. Partners, Ltd., its agents, contractors, employees, servants, licensees or occasionaires within Park Place at the Avenues. This indemnification shall run with the land and the assigns of S.E.A. Partners, Ltd., Richard Lee Suddath, A. Quinn Bell, Robert J. Price, H. Robert Duross, Murphy B. McLean and Barry S. Vaughn and shall be subject to it. A driveway easement for the purpose of vehicular ingress, egress and maneuvering shown hereon is hereby irrevocably and without reservation dedicated to the lot owners of record of this plat and to the City of Jacksonville, their successors and assigns, and is subject to the following covenants which shall run with the land: (1) The driveway easement hereby dedicated shall permit the unobstructed flow of vehicular traffic across, through, over and between lots and shall never be obstructed with any type of structure preventing the same.

In witness whereof the undersigned have caused these presents to be executed this 31st day of MAY A.D., 1989.



APPROVED FOR THE RECORD

This is to certify that this plat has been examined and approved by the City of Jacksonville, Duval County, Florida, pursuant to Ordinance Number 89-110676 of said City, adopted by its Council and approved by its Mayor this 30th day of September A.D., 1989.

Norman C. Bell
Mayor of the City of Jacksonville
Charles W. Keenan
Secretary of the City Council,
City of Jacksonville

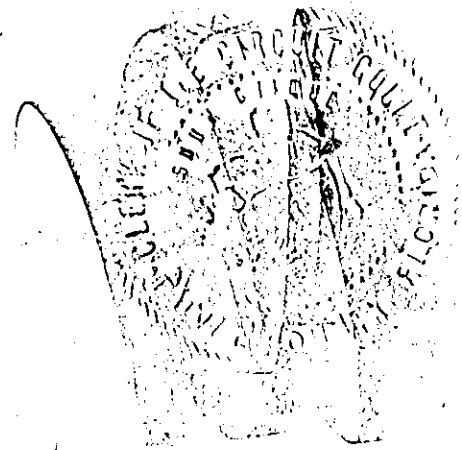
CLERK'S CERTIFICATE

This is to certify that this plat has been examined and approved by the City of Jacksonville, Duval County, Florida, and submitted to me for recording and is recorded in Plat Book 45 Pages 87-88A of the Public Records of Duval County, Florida, this 28th day of October A.D., 1989.

Henry W. Cook
Henry Cook
Clerk of the Circuit Court
By: *M. Watson*
Deputy Clerk

APPROVED
DATE: 8/22/89
For Director of Public Works
By: *James E. Moore*
City Engineer

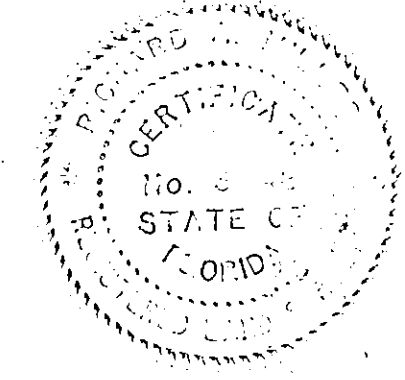
For General Counsel
By: *Therese Nuttall*



SURVEYOR'S CERTIFICATE

This is to certify that the above plat is a correct representation of the lands surveyed, platted and described in the Caption, that the survey was made under the undersigned's responsible direction and supervision, that the survey data complies with all of the requirements of Florida Statute 177, that the survey and legal description are accurate, and that the Permanent Reference Monuments have been placed and Permanent Control Points will be placed in according to the laws of the State of Florida and the City of Jacksonville, Florida.

Signed and Sealed this 29th day of May A.D., 1989.
Richard A. Miller
Richard A. Miller
Florida Registered Land Surveyor No. 3848



DEVELOPERS CERTIFICATE

This is to certify that S.E.A. Partners, Ltd., a Florida Corporation, has deposited with the City of Jacksonville sufficient collateral, in compliance with Section 634.109 of the Municipal Code, in an amount equivalent to one hundred percent of all remaining costs for engineering and construction and costs of placing permanent control points, (including sidewalks) as guarantee that all required improvements will be completed in accordance with the plans and specifications approved by the City of Jacksonville.

Signed and Sealed this 20th day of OCT A.D., 1989
Barry L. Allred
Barry L. Allred, Partner
James E. Moore
Director of Public Works

S.E.A. PARTNERS, LTD.

Witness: *Charles W. Cook*
Barry L. Allred
Barry L. Allred, Partner
S.E.A. Partners, Ltd.

Witness: *Kenneth D. Thomas*
RICHARD LEE SUDDATH

Witness: *Charles L. Koehler*
Richard L. Suddath
Richard Lee Suddath

Witness: *Cathy W. Jarvis*
A. QUINN BELL

Witness: *Charles L. Koehler*
ROBERT J. PRICE

Witness: *Cathy W. Jarvis*
Robert J. Price
Robert J. Price

Witness: *Charles L. Koehler*
H. ROBERT DU ROSS

Witness: *Cathy W. Jarvis*
H. Robert Duross
H. Robert Duross

Witness: *Charles L. Koehler*
MURPHY B. McLEAN

Witness: *Cathy W. Jarvis*
Murphy B. McLean
Murphy B. McLean

Witness: *Charles L. Koehler*
Murphy B. McLean
Murphy B. McLean

BARRY S. VAUGHN

Witness: *Charles L. Koehler*
Barry S. Vaughn
Barry S. Vaughn

Witness: *Cathy W. Jarvis*
SOUTHEAST BANK, N.A.

Witness: *Linda D. Dicks*
James C. Rodgers
James C. Rodgers, N.P.
Southeast Bank, N.A.

Witness: *Susan G. Tucker*
SOUTHEAST BANK, N.A.

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 31st day of May A.D., 1989 by Barry L. Allred, Partner of S.E.A. Partners, Ltd., a Corporation existing under the laws of the State of Florida, on behalf of the Corporation.

Kenneth D. Thomas
Notary Public, State of Florida
My Commission Expires June 29, 1991

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 5th day of June A.D., 1989 by Richard Lee Suddath, a married man.

Charles A. Shunford
Notary Public, State of Florida at Large
My Commission Expires Aug. 27, 1990
Bonded thru Bowditch Ins. Corp.

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 5th day of June A.D., 1989 by A. Quinn Bell, a married man.

Charles A. Shunford
Notary Public, State of Florida at Large
My Commission Expires Aug. 27, 1990
Bonded thru Bowditch Ins. Corp.

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 5th day of June A.D., 1989 by Robert J. Price, a married man.

Charles A. Shunford
Notary Public, State of Florida at Large
My Commission Expires Aug. 27, 1990
Bonded thru Bowditch Ins. Corp.

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 5th day of June A.D., 1989 by H. Robert Duross, a married man.

Charles A. Shunford
Notary Public, State of Florida at Large
My Commission Expires Aug. 27, 1990
Bonded thru Bowditch Ins. Corp.

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 8th day of June A.D., 1989 by Murphy B. McLean, a married man.

Charles A. Shunford
Notary Public, State of Florida at Large
My Commission Expires Aug. 27, 1990
Bonded thru Bowditch Ins. Corp.

STATE OF FLORIDA
COUNTY OF DUVAL

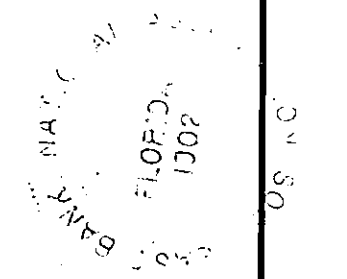
The foregoing instrument was acknowledged before me this 5th day of June A.D., 1989 by Barry S. Vaughn, a married man.

Charles A. Shunford
Notary Public, State of Florida at Large
My Commission Expires Aug. 27, 1990
Bonded thru Bowditch Ins. Corp.

STATE OF FLORIDA
COUNTY OF DUVAL

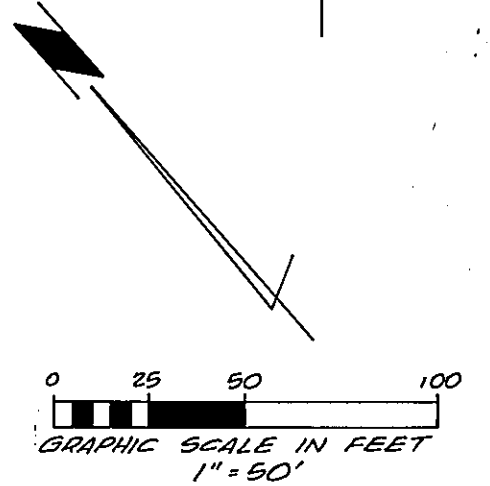
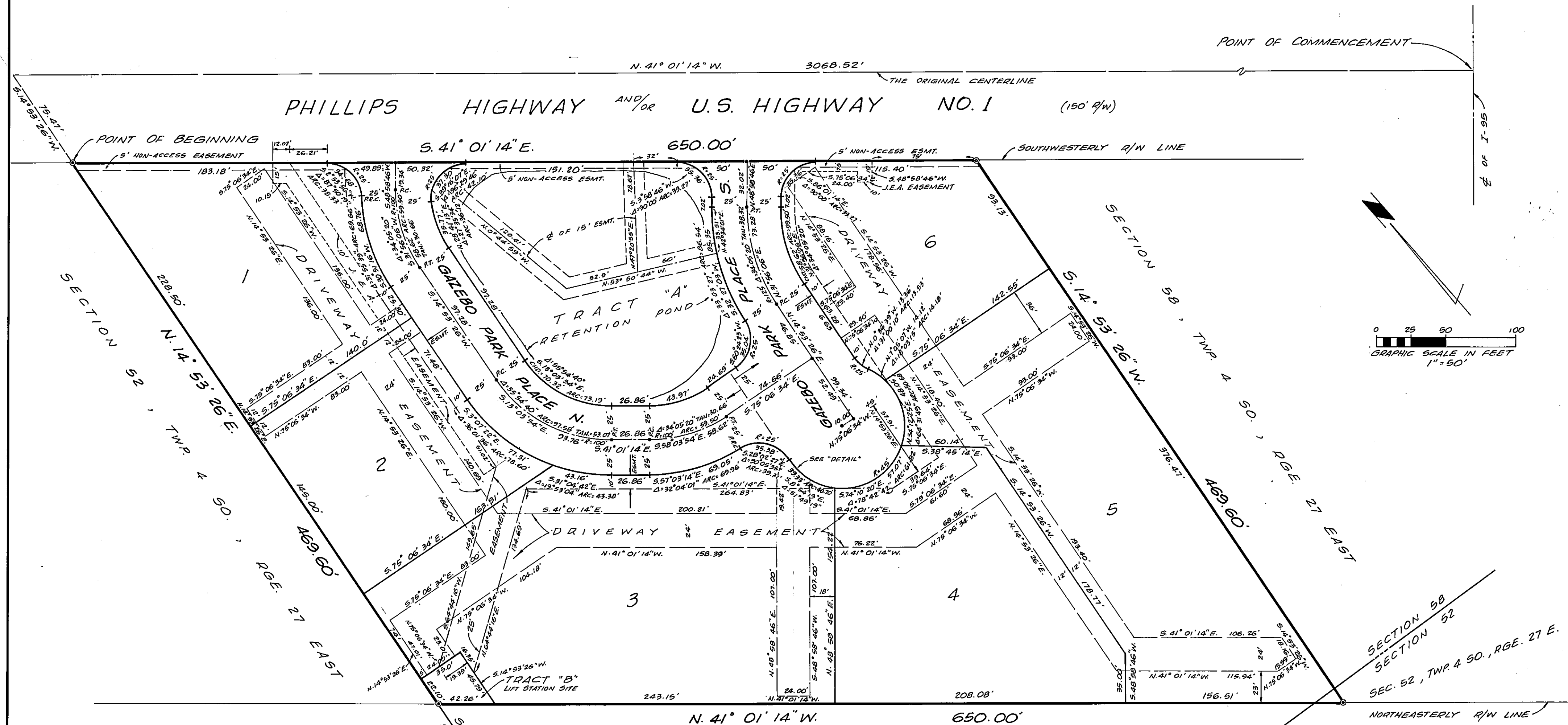
The foregoing instrument was acknowledged before me this 16th day of June A.D., 1989 by James C. Rodgers, Vice President of Southeast Bank, N.A., a National Banking Association, on behalf of the Corporation.

Army Flannery
Notary Public, State of Florida at Large
My Commission Expires Sept. 20, 1991



Park Place at the Avenues

A PORTION OF THE WILLIAM HARTLEY GRANT, SECTION 5B, AND A PORTION OF THE A. GAY GRANT, SECTION 52, ALL IN TOWNSHIP 4 SOUTH, RANGE 27 EAST, OF THE CITY OF JACKSONVILLE, DUVAL COUNTY, FLORIDA.



NOTES:

1. ⊙ DENOTES PERMANENT REFERENCE MONUMENT.
2. ° DENOTES PERMANENT CONTROL POINT.
3. → DENOTES STREET NAME CHANGE POINT.
4. ALL EASEMENTS SHOWN HEREON ARE FOR DRAINAGE, UTILITIES AND SEWERS, UNLESS OTHERWISE NOTED.
5. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
6. BEARINGS AND DISTANCES SHOWN ON CURVES REFER TO THE CHORD.
7. CERTAIN EASEMENTS ARE RESERVED FOR THE EXCLUSIVE USE OF THE JACKSONVILLE ELECTRIC AUTHORITY IN CONJUNCTION WITH THE UNDERGROUND ELECTRICAL DISTRIBUTION SYSTEM.
8. BEARINGS BASED ON DEEDS OF RECORD FOR THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF PHILLIPS HIGHWAY.

PREPARED BY:
RICHARD A. MILLER & ASSOCIATES, INC.
11330-S ST. JOHNS INDUSTRIAL PARKWAY N.
JACKSONVILLE, FL. 32216
(904) 642-8337

